

# SHED PERMIT - APPLICATION CHECKLIST

THE INFORMATION CONTAINED IN THIS HANDOUT ILLUSTRATES WHAT IS REQUIRED FOR SUBMISSION FOR A PERMIT TO CONSTRUCT A SHED. THE DRAWINGS INCLUDED ARE FOR INFORMATIONAL PURPOSES ONLY. THE INFORMATION YOU PROVIDE MUST BE SPECIFIC TO YOUR SHED AND MARKUPS OF THESE DRAWINGS WILL NOT BE ACCEPTED.

PROVIDE THE FOLLOWING CONCERNING YOUR PROPOSED SHED.

- ZONING APPROVAL APPLICATION – SEE ZA-1 (REQ'D FOR ALL APPLICATIONS)  
ZONING APPROVAL IS REQUIRED PRIOR TO REVIEW BY THE CONSTRUCTION OFFICE FOR A CONSTRUCTION PERMIT
- SHED LOCATION PLAN – SEE S-1 (REQ'D FOR ALL APPLICATIONS)
- SHED PLAN – SEE S-2 (REQ'D FOR SHEDS OVER 200 SQ. FT.)
- SHED ELEVATIONS – SEE S-3 (REQ'D FOR ALL APPLICATIONS)
- SHED SECTION – SEE S-4 (REQ'D FOR SHEDS OVER 200 SQ. FT.)  
NOTE FOUNDATION REQUIREMENTS DEPENDING ON SIZE OF SHED
- IF MANUFACTURED SHEDS ARE PROPOSED, PROVIDE THE MANUFACTURER'S BROCHURE INCLUDING THE MANUFACTURER'S INSTALLATION SPECIFICATIONS
- TIE-DOWNS REQUIRED FOR SHEDS WITHOUT FLOORS

IF YOU HAVE ANY QUESTIONS CONCERNING YOUR PROJECT, CALL DANIEL WASSENAR, BUILDING SUBCODE OFFICIAL, MONDAY TO FRIDAY FROM 7:00 AM TO 3:00 PM AT 609-894-3384

PEMBERTON TOWNSHIP  
CONSTRUCTION OFFICE  
500 PEMBERTON BROWNS MILLS ROAD  
PEMBERTON, NEW JERSEY 08068  
VOICE: 609-894-3330 FAX: 609-894-2703

SHED  
INFORMATION  
DRAWINGS



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# TOWNSHIP OF PEMBERTON

## Department of Community Development

Zoning Division 609-894-3306 Fax: 609-894-2703  
500 Pemberton-Browns Mills Road  
Pemberton, New Jersey 08068-1539  
[www.pemberton-twp.com](http://www.pemberton-twp.com)

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April 4, 2018

### GENERAL INSTRUCTIONS TO OBTAIN A ZONING PERMIT FOR A RESIDENTIAL STORAGE SHED

#### GENERAL INFORMATION:

1. A completed Zoning Permit Application is required for all Residential Storage Sheds.
2. If your Residential Storage Shed is **greater than 200 square feet**, you will also require a Building Permit from the Construction Office.

#### ZONING PERMIT APPLICATION REQUIREMENTS:

3. A completed Zoning Permit Application form with all required information included. See Form ZA-1.
4. Survey or site plan, drawn to scale, showing proposed location of shed, dimensions of shed, distance from shed to lot lines and distance from shed to any structure as specified on Form ZA-1. A sample drawing is attached see S-1.
5. A drawing depicting the shed front and side elevations with all information as identified on the sample drawing attached as S-3.

#### SHED REQUIREMENTS:

1. The installation or construction of a shed shall be in conformance with the requirements as shown in the **ZONING SCHEDULE FOR RESIDENTIAL STORAGE SHEDS** for the zone district of the property.
2. If you do not know the Zoning District of the property for the shed application, you can find it on the Pemberton Township online GIS at [http://www.pemberton-twp.com/pemberton\\_gis](http://www.pemberton-twp.com/pemberton_gis). You can search for the property by address or Block and Lot.
3. The Zoning Ordinance does not permit a shed in the front yard.
4. If you have a corner lot, place the shed at least the front yard setback plus ten (10) feet from any street frontage. (190-53.D.)
5. A shed can be placed in an easement if the following conditions are met (except for conservation easements):
  - a. The shed shall not be placed on a concrete surface or a permanent concrete footing.
  - b. The shed installation shall not impede the natural flow of surface water.
  - c. The owner shall be responsible for moving of the shed and any costs associated with the moving of the shed if, for any reason, should the shed need to be moved for work to be completed within that easement.
6. The Township of Pemberton has no authority to enforce deed restrictions, covenants or adopted rules of a homeowner's association.
7. If you are a tenant, you must submit an approval letter from the property owner.

**ZONING PERMIT APPLICATION**  
**TOWNSHIP OF PEMBERTON**  
**Zoning Division**

500 Pemberton-Browns Mills Road  
 Pemberton, New Jersey 08068-1539  
 609-894-3382 Fax: 609-894-2703



<http://www.pemberton-twp.com/>

| FOR OFFICE USE ONLY |       |
|---------------------|-------|
| Permit/Receipt #:   | _____ |
| Date Received:      | _____ |
| Received by:        | _____ |
| Response Due:       | _____ |
| Review Date:        | _____ |
| Approved/Denied:    | _____ |

**ALL ITEMS MUST BE COMPLETED OR THE APPLICATION WILL BE REJECTED**

ADDRESS OF PROJECT: \_\_\_\_\_ BLOCK(S): \_\_\_\_\_  
 ZONE: (if known) \_\_\_\_\_ LOT(S): \_\_\_\_\_

**DOES THIS PROPERTY USE A SEPTIC SYSTEM?** \_\_\_\_\_

EXISTING USE:  NON-RESIDENTIAL  RESIDENTIAL / Description \_\_\_\_\_

PROPOSED IMPROVEMENTS AND/OR USE (be specific): \_\_\_\_\_

**A COPY OF SURVEY, SCALED OR ACCURATE DRAWING REQUIRED:** Please show location of proposed projection(s) indicating setbacks, location of streets indicating street names and dimensions of the property, and the septic system location (if applicable). All easements and rights-of-way should be indicated.

State law allows ten (10) days to review a complete zoning permit application.

**Lot Size:** \_\_\_\_\_ **X** \_\_\_\_\_ **Lot Sq. Ft.:** \_\_\_\_\_

- FENCE  DECK/PATIO  NEW DWELLING  ACCESSORY USE  SHED  
 GARAGE/POLE BARN  POOL/HOT TUB  ADDITION  OTHER \_\_\_\_\_  
 (above or in ground)

**Please complete the following information where applicable:**

SIZE: \_\_\_\_\_ x \_\_\_\_\_ HEIGHT: \_\_\_\_\_ SIZE: SQ FT \_\_\_\_\_  
 LENGTH WIDTH (OVER 500 SQ FT MAY REQUIRE GRADING PLAN)

**PROPOSED**

SETBACKS: FRONT: \_\_\_\_\_ REAR: \_\_\_\_\_ SIDE: \_\_\_\_\_ SIDE: \_\_\_\_\_

Is the lot an inside or corner lot?  INSIDE LOT  CORNER LOT

If application is for an accessory structure: Distance to principal structure: \_\_\_\_\_

Principal structure: Dimensions/sq. ft. \_\_\_\_\_ / \_\_\_\_\_ Height \_\_\_\_\_

Was Planning Board or Zoning Board approval required for this improvement and/or property?

NO YES If yes, date approved? \_\_\_\_\_

APPLICANT NAME: \_\_\_\_\_

OWNER NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE ZIP: \_\_\_\_\_

CITY, STATE, ZIP: \_\_\_\_\_

PHONE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

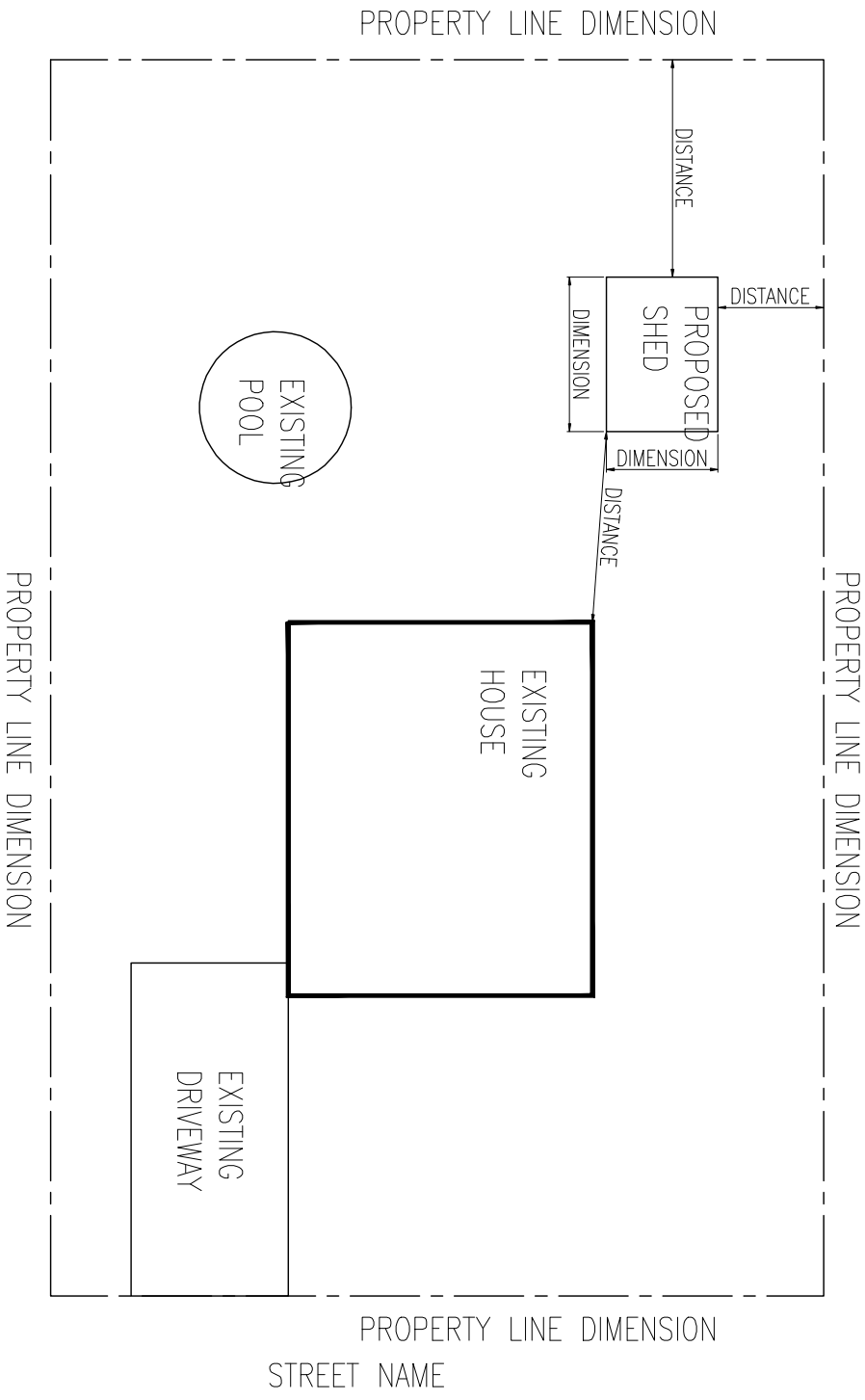
APPLICANT/OWNER SIGNATURE \_\_\_\_\_

Applicant/Owner is responsible for accuracy of documentation and information submitted.

## ZONING REQUIREMENTS FOR RESIDENTIAL STORAGE SHEDS

| Zone  | Chapter           | Maximum Size (sf)     | Maximum Shed Height | Maximum No. Allowed   | Yard Allowed | Minimum Side Setback | Minimum Rear Setback | Corner Lot (Minimum Setback from Street) | Minimum Distance to other Building | Maximum Accessory Building Cover |
|---|-------------------|-----------------------|---------------------|-----------------------|--------------|----------------------|----------------------|--|------------------------------------|----------------------------------|
| AR  | 190-12            | Max 200               | 10'                 | 2                     | Side/Rear    | 50'                  | 50'                  | 200'                                     | 50'                                | 5%                               |
| AP  | 190-13            | Max 200               | 10'                 | 2                     | Side/Rear    | 50'                  | 50'                  | 200'                                     | 50'                                | 5%                               |
| SAP   | 190-14            | Max 200               | 10'                 | 2                     | Side/Rear    | 50'                  | 50'                  | 200'                                     | 25'                                | 1%                               |
| P   | 190-15            | Max 200               | 10'                 | 2                     | Side/Rear    | 50'                  | 50'                  | 200'                                     | 25'                                | 1%                               |
| R-60  | 190-16 / 190-30   | Max 145               | 10'                 | 1                     | Side/Rear    | 5'                   | 5'                   | 25'                                      | 10'                                | 5%                               |
| R-80  | 190-16 / 190-30   | Max 200               | 10'                 | 1                     | Side/Rear    | 5'                   | 5'                   | 25'                                      | 10'                                | 5%                               |
| R-100   | 190-16 / 190-30   | Max 200               | 10'                 | 1                     | Side/Rear    | 5'                   | 5'                   | 25'                                      | 10'                                | 5%                               |
| R-96  | 190-16 / 190-30   | Max 200               | 10'                 | 1                     | Side/Rear    | 5'                   | 5'                   | 25'                                      | 10'                                | 5%                               |
| R-200   | 190-16 / 190-30   | Max 200               | 10'                 | 1                     | Side/Rear    | 5'                   | 5'                   | 40'                                      | 10'                                | 5%                               |
| R-1   | 190-17            | Max 200               | 10'                 | 1                     | Side/Rear    | 10'                  | 10'                  | 200'                                     | 20'                                | 2%                               |
| R-3   | 190-17            | Max 200               | 10'                 | 1                     | Side/Rear    | 10'                  | 10'                  | 200'                                     | 25'                                | 1%                               |
| R-I   | 190-18 / 190-30   | Max 200               | 10'                 | 1                     | Side/Rear    | 5'                   | 5'                   | 50'                                      | 25'                                | 2%                               |
| RA w/o PDC's                                  | 190-18.1 / 190-30 | Max 200               | 10'                 | 1                     | Side/Rear    | 5'                   | 5'                   | 75'                                      | 25'                                | 1%                               |
| RA w/ PDC's                                   | 190-18.1 / 190-30 | Max 200               | 10'                 | 1                     | Side/Rear    | 5'                   | 5'                   | 25'                                      | 10'                                | 5%                               |
| R-6 (Det. Dwell.)                             | 190-19            | Max 200               | 10'                 | 1                     | Side/Rear    | 100'                 | 100'                 | 200'                                     | 50'                                | 1%                               |
| R-6 (Piney Ex.)                               | 190-19            | Max 200               | 10'                 | 1                     | Side/Rear    | 50'                  | 50'                  | 200'                                     | 25'                                | 1%                               |
| R-6 (Cluster)                                 | 190-19            | Max 200               | 10'                 | 1                     | Side/Rear    | 30'                  | 30'                  | 200'                                     | 20'                                | 5%                               |
| R-17 w/o Pub. Sewer/Water                     | 190-20            | Max 200               | 10'                 | 1                     | Side/Rear    | 10'                  | 10'                  | 200'                                     | 25'                                | 0.2%                             |
| R-17 Cluster                                  | 190-20            | Max 200               | 10'                 | 1                     | Side/Rear    | 10'                  | 10'                  | 200'                                     | 25'                                | 1%                               |
| MH*   | 190-21            | Max 120               | 10'                 | 1                     | Side/Rear    | 5'                   | 5'                   | 10' / 25'                                | 5'                                 | NA                               |
| PV w/o Sewer                                  | 190-22            | Max 145               | 10'                 | 2                     | Side/Rear    | 50'                  | 50'                  | 50'                                      | 25'                                | 1%                               |
| PV w/ Sewer                                   | 190-22            | Max 145               | 10'                 | 2                     | Side/Rear    | 30'                  | 30'                  | 30'                                      | 20"                                | 5%                               |
| OP  | 190-24.1          | Max 145               | 10'                 | 1                     | Side/Rear    | 10'                  | 15'                  | 40'                                      | 20'                                |                                  |
| <b>Nonconforming Lots / Uses / Structures</b> | 190-37.F.(1)      |                       |                     |                       |              |                      |                      |  |                                    |                                  |
| Lot Size Up to 11,000 Square Feet             | 190-37.F.(1)      | See Zone requirements | 10'                 | See Zone requirements | Side/Rear    | 10'                  | 10'                  | See Zone requirements                    | 20'                                | 5%                               |
| Lot Size 11,001 to 30,000 Square Feet         | 190-37.F.(1)      | See Zone requirements | 10'                 | See Zone requirements | Side/Rear    | 10'                  | 15'                  | See Zone requirements                    | 20'                                | 5%                               |
| Lot Size of 30,001 to 43,560 Square Feet      | 190-37.F.(1)      | See Zone requirements | 10'                 | See Zone requirements | Side/Rear    | 30'                  | 30'                  | See Zone requirements                    | 20'                                | 2%                               |

Revised 11/16/2017



LOCATION PLAN

NOT TO SCALE

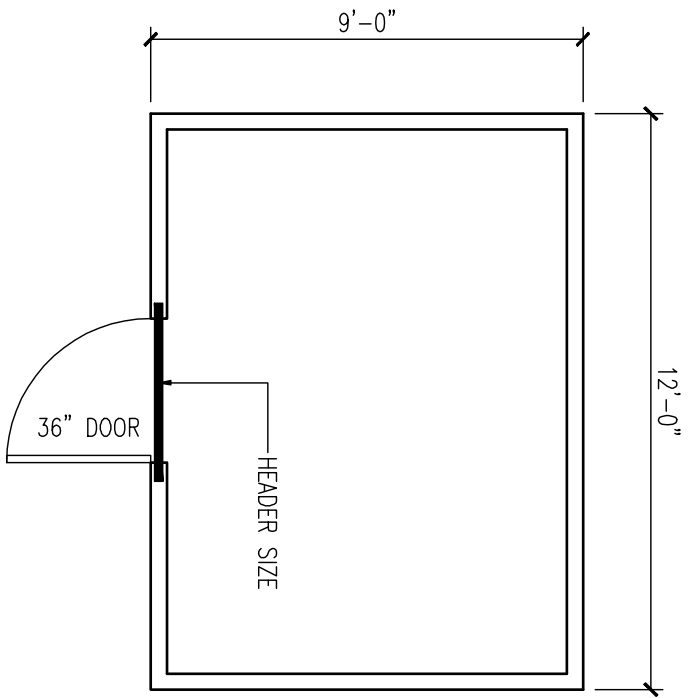
SEE ZA-1 FOR ITEMS THAT MUST BE SHOWN ON THE LOCATION PLAN.

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SHED  
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S-1

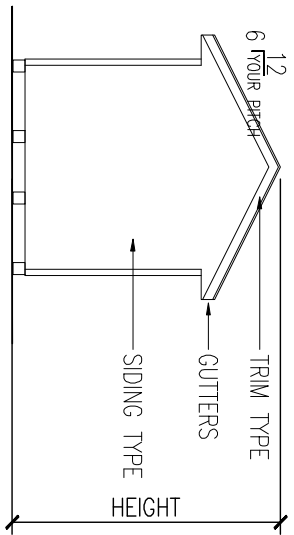
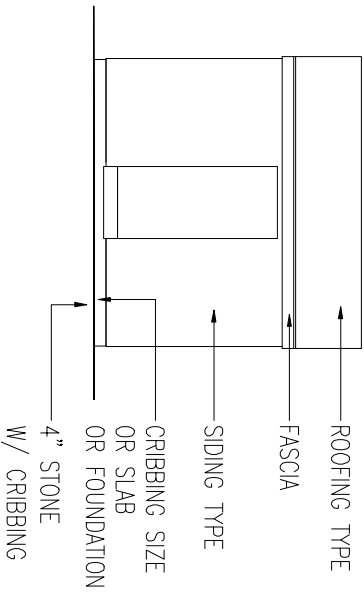


SLED PLAN  
NOT TO SCALE  
SHOW YOUR SHED DIMENSIONS

S-2

SHED  
INFORMATION  
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# SHED ELEVATIONS

SCALE 1/8" = 1'-0"

SHOW HEIGHT, ROOF PITCH, AND MATERIALS  
SHOW PROPOSED BASE.

PEMBERTON TOWNSHIP

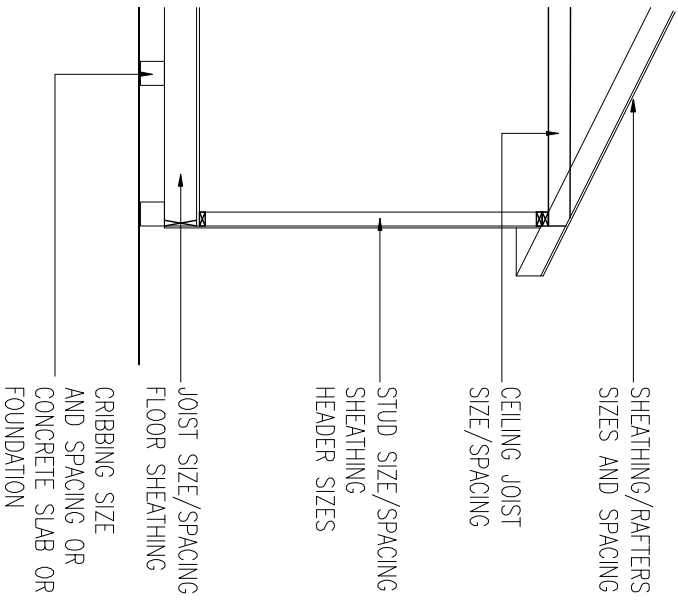
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S-3



# BUILDING SECTION

SCALE 1/4" = 1'-0"

R403.1.4 Minimum depth. All exterior footings shall be placed at least 12 inches below the undisturbed ground surface. Where applicable, the depth of footings shall also conform to Sections R403.1.4.1 through R403.1.4.2.

Exceptions:

1. Accessory garden-type utility sheds and similar structures that are 100 square feet or less in area, 10 feet or less in height and does not contain a water, gas, oil or sewer connection. These structures shall be of sufficient weight to remain in place or shall be anchored to the ground.
2. Accessory garden-type utility sheds and similar structures that are greater than 100 square feet, but not more than 200 square feet in area, and 10 feet or less in height, provided the shed is dimensionally stable without the foundation system and does not contain a water, gas, oil or sewer connection. A shed shall be considered dimensionally stable if it is provided with a floor system that is tied to the walls of the structure such that it reacts to loads as a unit. These structures shall be of sufficient weight to remain in place or shall be anchored to the ground.

R403.1.4.1 Frost protection. Except where otherwise protected from frost, foundation walls, piers and other permanent supports of buildings and structures shall be protected from frost by one or more of the following methods:

1. Extended below the frost line which is 30" below grade.
2. Erected on solid rock.

Exception: Free-standing buildings meeting all of the following conditions shall not be required to be protected:

1. Buildings and other structures that represent a low hazard to human life in the event of failure, including, but not limited to, agricultural buildings, temporary buildings and minor storage facilities.
2. Area of 600 square feet or less for light-framed construction or 400 square feet or less for other than light-framed construction; and
3. Eave height of 10 feet (3048 mm) or less.

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