

DECK PERMIT - APPLICATION CHECKLIST

THE INFORMATION CONTAINED IN THIS HANDOUT ILLUSTRATES WHAT IS REQUIRED FOR SUBMISSION FOR A PERMIT TO CONSTRUCT A DECK. THE DRAWINGS INCLUDED ARE FOR INFORMATIONAL PURPOSES ONLY. THE DETAILS YOU PROVIDE ARE TO BE SPECIFIC TO YOUR DECK AND MARKUPS OF THESE DRAWINGS WILL NOT BE ACCEPTED.

PROVIDE THE FOLLOWING CONCERNING YOUR PROPOSED DECK.

- ZONING APPROVAL APPLICATION – SEE ZA-1 (REQ'D FOR ALL APPLICATIONS)
ZONING APPROVAL IS REQUIRED PRIOR TO REVIEW BY THE CONSTRUCTION OFFICE FOR A CONSTRUCTION PERMIT
- SHED LOCATION PLAN – SEE D-1 (REQ'D FOR ALL APPLICATIONS)
- FOOTINGS/PIERS – SEE D-2 AND D-5
- LEDGER – SEE D-3 AND D-4
- SUPPORT BEAMS – SEE D-4 AND D-5
- SUPPORT COLUMNS – SEE D-5
- DECK JOISTS – SEE D-4 AND D-5
- GUARDRAILS – SEE D-5, D-7, AND D-8
- STAIRS, STRINGERS AND HANDRAILS – SEE D-4, D-6, D-7, D-8, AND D-9
- INDICATE PRESSURE TREATED LUMBER
- INDICATE ALL FASTENERS, HANGERS, POST BASE AND POST CAP CONNECTIONS BY MANUFACTURER AND MODEL NUMBER. INDICATE TREATMENT TYPE FOR CONNECTORS
- IF MANUFACTURED GUARDRAILS ARE USED, INDICATE MANUFACTURER AND PROVIDE COPY OF MANUFACTURER'S INSTALLATION SPECIFICATIONS

IF YOU HAVE ANY QUESTIONS CONCERNING YOUR PROJECT, CALL JAMES B. FORAN, BUILDING SUBCODE OFFICIAL, MONDAY WEDNESDAY, OR FRIDAY FROM 7:30AM TO 11:00AM AT 609-894-3384.

PEMBERTON TOWNSHIP
CONSTRUCTION OFFICE
500 PEMBERTON BROWNS MILLS ROAD
PEMBERTON, NEW JERSEY 08068
VOICE: 609-894-3330 FAX: 609-894-7976

DECK
INFORMATION
DRAWINGS



TOWNSHIP OF PEMBERTON

Department of Community Development

Zoning Division 609-894-3306 Fax: 609-894-7976
500 Pemberton-Browns Mills Road
Pemberton, New Jersey 08068-1539
www.pemberton-twp.com

April 30, 2014

GENERAL INSTRUCTIONS TO OBTAIN A ZONING PERMIT FOR A RESIDENTIAL DECK

GENERAL INFORMATION:

1. A completed Zoning Permit Application is required for all Residential Decks.
2. Important considerations when constructing a Residential Deck:
 - a. Zoning Definitions and Requirements under Chapter 190-5:
 - DECK --** An exterior floor supported on at least two opposing sides by an adjacent structure, and/or posts, piers or other independent supports, except that a handicap ramp meeting barrier-free code requirements shall not be considered a deck and shall not be regulated by this chapter.
 - DECK, ATTACHED --** If constructed 30 or more inches above finished grade and attached to the principal building or constructed within four feet thereof, shall be subject to the setback requirement as outlined in the Schedule of Area and Yard Requirements for that zone for the principal building.
 - DECK, DETACHED --** If constructed 30 or more inches above finished grade, but not attached to the principal building, the deck shall be subject to the Schedule of Area and Yard Requirements for that zone as an accessory structure.
 - DECK, GRADE LEVEL --** If constructed less than 30 inches in height above grade (measured from finished grade to the top of the deck), is not subject to the Schedule of Area and Yard Requirements for that zone, except that a minimum setback of 10 feet shall be maintained from property lines in all cases.
 - DECK HEIGHT --** For an attached deck, the average vertical distance measured to the highest point of the deck from the mean elevation of the finished grade under the deck a distance of five feet away from the foundation along the side(s) of the building. For a detached deck, the average vertical distance to the highest point of the deck from the mean elevation of the finished grade as measured from a horizontal distance five feet away from the deck on all sides of the deck.
 - b. All Residential Decks also require a Building Permit from the Construction Office. This information is included in this packet.

ZONING PERMIT APPLICATION REQUIREMENTS:

1. A completed Zoning Permit Application form with all required information included. See Form ZA-1.
2. Survey or site plan, drawn to scale, showing proposed location of the deck, dimensions of the deck, distance from deck to lot lines and distance from deck to any structure as specified on Form ZA-1. A sample drawing is attached see ZA-2.
3. A drawing depicting the deck front and side elevations with all information as identified on the sample drawing attached as D-7.

DECK REQUIREMENTS:

1. The installation or construction of a DECK shall be in conformance with the requirements as shown in the **ZONING SCHEDULE** for the zone district of the property.
2. If you do not know the Zoning District of the property for the shed application, you can find it on the Pemberton Township online GIS at http://www.pemberton-twp.com/pemberton_gis. You can search for the property by address or Block and Lot. You must ensure that there is a check in the box next to Zoning on the right.
3. The Zoning Ordinance does not permit a shed in an easement.
4. If you have a corner lot, place the deck at least the front yard setback from any street frontage. For additional information, see Chapter 190-53.A. and 190-53.B. (<http://ecode360.com/11304174>)
5. The Township of Pemberton has no authority to enforce deed restrictions, covenants or adopted rules of a homeowner’s association.
6. If you are a tenant you must submit an approval letter from the property owner.
7. There are special Requirements for the Mobile Home District that must be met:

MOBILE HOME DISTRICT REQUIREMENTS 190-21

<http://ecode360.com/11302030>

Requirement	Distance
Minimum setback from any private road	10 feet
Minimum setback from any public road	25 feet
Minimum setback from any mobile home or portion thereof, including porches (this provision is applicable to replacement units as well as units within a new section)	15 feet
Minimum setback from accessory buildings	5 feet
Minimum setback to any lot line or any other building (this provision is applicable to replacement units as well as units within a new section)	5 feet

**ZONING PERMIT APPLICATION
TOWNSHIP OF PEMBERTON**

Zoning Department
500 Pemberton-Browns Mills Road
Pemberton, New Jersey 08068-1539
609-894-3306 Fax: 609-894-7976

FOR OFFICE USE ONLY

Permit/Receipt # _____

Date Received: _____

Received by: _____

Response Due: _____

Review Date: _____

Approved/Denied: _____

ALL ITEMS MUST BE COMPLETED OR THE APPLICATION WILL BE REJECTED

ADDRESS OF PROJECT: _____ BLOCK(S): _____

ZONE: (if known) _____ LOT(S): _____

NON-RESIDENTIAL RESIDENTIAL

EXISTING USE: _____

PROPOSED IMPROVEMENTS AND/OR USE (be specific): _____

A COPY OF SURVEY, SCALED OR ACCURATE DRAWING REQUIRED: Please show location of proposed projection(s) indicating setbacks, location of streets indicating street names and dimensions of the property. All easements and rights-of-way should be indicated.

State law allows ten (10) days to review a complete zoning permit application.

Lot Size _____ **X** _____ Lot Sq Ft _____

FENCE DECK/PATIO NEW DWELLING ACCESSORY USE SHED
 GARAGE/POLE BARN POOL/HOT TUB ADDITION OTHER _____

(above or inground)

Please complete the following information where applicable:

SIZE: _____ x _____ HEIGHT: _____ SIZE: SQ FT _____
LENGTH WIDTH (OVER 500 SQ FT MAY REQUIRE GRADING PLAN)

SETBACKS: FRONT: _____ REAR: _____ SIDE: _____ SIDE: _____

Is the lot an inside or corner lot? INSIDE LOT CORNER LOT

If application is for an accessory structure: Distance to principal structure: _____

Provide principal structure: Dimensions/sq ft _____ / _____ Height _____

Is this property serviced by *septic or sewer* _____

Was Planning Board or Zoning Board approval required for this improvement and/or property?

NO YES If yes, date approved? _____

APPLICANT NAME: _____ OWNER NAME: _____

ADDRESS: _____ ADDRESS: _____

CITY, STATE ZIP: _____ CITY, STATE, ZIP: _____

PHONE: _____

APPLICANT/OWNER SIGNATURE _____

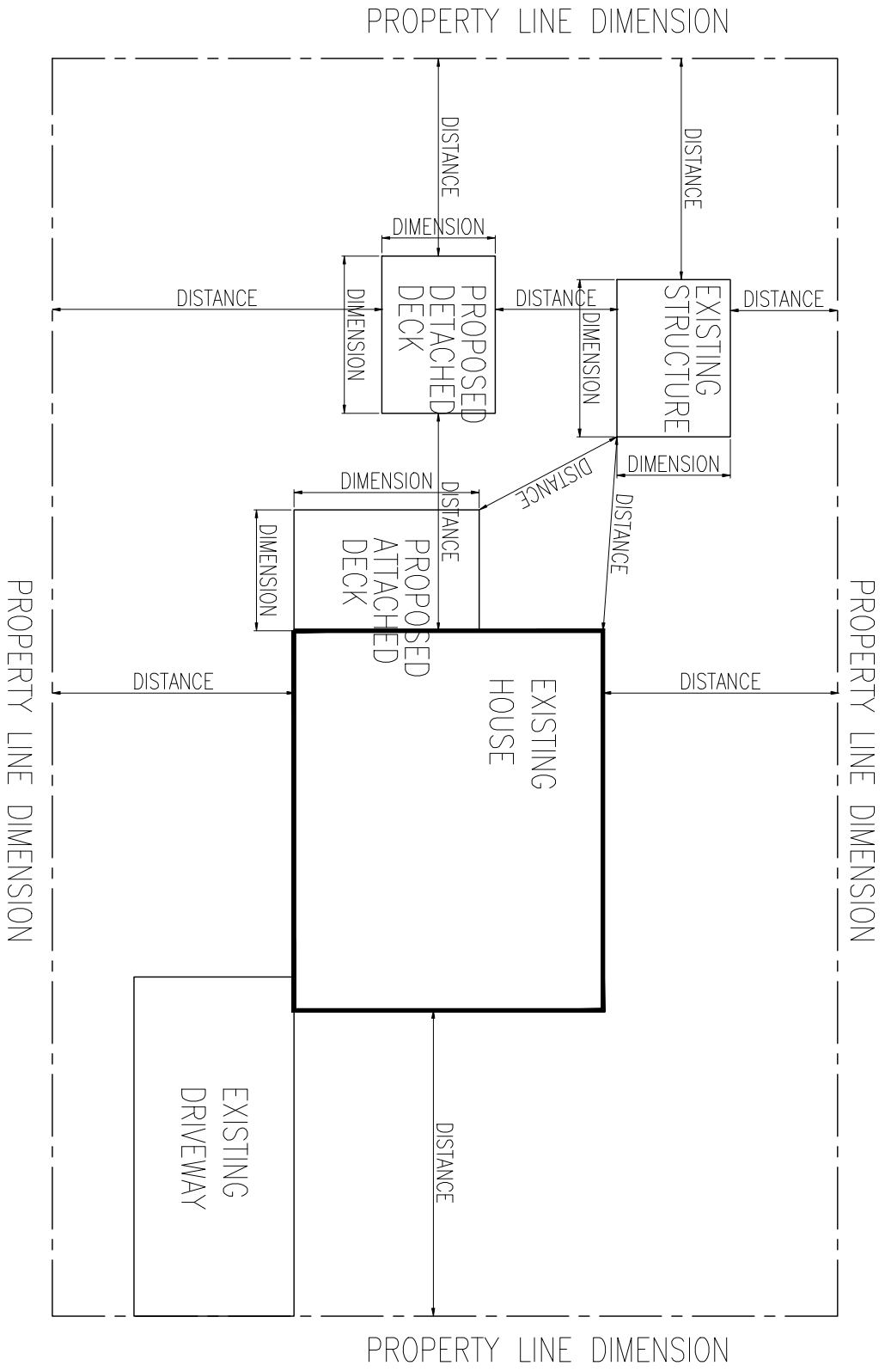
Applicant/Owner is responsible for accuracy of documentation and information submitted.

ZONING SCHEDULE

Section	zone	name	use	Notes	lot area	measurment	frontage	lot width	lot depth	PRINCIPAL STRUCTURE				ACCESSORY STRUCTURE				Zoning Code Link Primary Use
										side	front	rear	max cover prin	Access side	Access rear	from other bldg.	max cover Acces	
190-18.1	R-A Infill / PRC	R-A Infill Residential District With Planned Retirement Community Conditional Use.	SFD		5,000	SF	45	45	90	10 or 8	25	30	10	2.5	10	10	N/A	http://ecode360.com/11301864#11301864
190-18.1	R-A Infill / PRC	R-A Infill Residential District With Planned Retirement Community Conditional Use.	Two FD		8,000	SF	75	75	100	15	25	30	10	2.5	10	10	N/A	http://ecode360.com/11301864#11301864
190-18.1	R-A Infill / PRC	R-A Infill Residential District With Planned Retirement Community Conditional Use.	Quad FD		12,000	SF	100	100	100	20	25	30	N/A	1.5	N/A	N/A	N/A	http://ecode360.com/11301864#11301864
190-18.1	R-A Infill / PRC	R-A Infill Residential District With Planned Retirement Community Conditional Use.	CCRC		15	acres	300	300	500	100	100	100	15%	100	100	100	5%	http://ecode360.com/11301864#11301864
190-18.1	R-A Infill / PRC	R-A Infill Residential District With Planned Retirement Community Conditional Use.	CCRC		3	acres	300	300	500	100	100	100	10%	100	100	100	3%	http://ecode360.com/11301864#11301864
190-12	AR	AR Agricultural Residential District.	Farms and Detached Dwellings		6	acres	200	200	400	50	N/A	N/A	N/A	N/A	N/A	N/A	N/A	http://ecode360.com/11301532
190-12	AR	AR Agricultural Residential District.	Clustered Detached Dwellings (based on 6 ac/du or 40 ac/du overall density)		1	acres	100	100	250	40	N/A	N/A	N/A	N/A	N/A	N/A	N/A	http://ecode360.com/11301532
190-12	AR	AR Agricultural Residential District.	Detached Dwellings Permitted Pursuant to § 190-128(b) (Piney exempt)		3.2	acres	150	150	300	50	N/A	N/A	N/A	N/A	N/A	N/A	N/A	http://ecode360.com/11301532
190-12	AR	AR Agricultural Residential District.	Agricultural and Roadside Retail Sales Facilities		1	acres	150	150	150	25	N/A	N/A	N/A	N/A	N/A	N/A	N/A	http://ecode360.com/11301532
190-13	AP	AP Agricultural Production District.	Farms and Detached Dwellings		10	acres	250	250	600	150	200	100	8	100	100	50	2	http://ecode360.com/11301588
190-13	AP	AP Agricultural Production District.	Detached Dwellings Permitted Pursuant to § 190-138(f) (Piney exempt)		3.2	acres	150	150	300	50	200	100	5	50	50	25	1	http://ecode360.com/11301588
190-13	AP	AP Agricultural Production District.	Churches and Cemeteries		5	acres	300	300	600	100	200	100	5	50	50	50	1	http://ecode360.com/11301588
190-13	AP	AP Agricultural Production District.	Agricultural Commercial Establishments		1	acres	150	150	150	25	75	40	10	25	25	25	2	http://ecode360.com/11301588
190-16	R-60	R-60, R-80, R-96, R-100 and R-200 Single-Family and Two-Family Residential Districts.	Two-Family		6,000	SF	50	50	100	10	25	40	25	10	10	10	5	http://ecode360.com/11301745
190-16	R-80	R-60, R-80, R-96, R-100 and R-200 Single-Family and Two-Family Residential Districts.	Single-Family	w/ sewer	8,000	SF	80	80	100	10	25	40	25	10	10	10	5	http://ecode360.com/11301745
190-16	R-96	R-60, R-80, R-96, R-100 and R-200 Single-Family and Two-Family Residential Districts.	Single-Family	w/ Sewer	9,600	SF	80	80	120	10	25	40	25	10	10	10	5	http://ecode360.com/11301745
190-16	R-200	R-60, R-80, R-96, R-100 and R-200 Single-Family and Two-Family Residential Districts.	Single-Family		20,000	SF	100	100	150	20	40	50	20	10	15	10	5	http://ecode360.com/11301745
190-16	R-60	R-60, R-80, R-96, R-100 and R-200 Single-Family and Two-Family Residential Districts.	Churches		60,000	SF	200	200	200	50	50	50	10	10	40	40	2	http://ecode360.com/11301745
190-16	R-80	R-60, R-80, R-96, R-100 and R-200 Single-Family and Two-Family Residential Districts.	Churches	Churches	60,000	SF	200	200	200	50	50	50	10	10	40	40	2	http://ecode360.com/11301745
190-16	R-96	R-60, R-80, R-96, R-100 and R-200 Single-Family and Two-Family Residential Districts.	Churches	Churches	60,000	SF	200	200	200	50	50	50	10	10	40	40	2	http://ecode360.com/11301745
190-16	R-80	R-60, R-80, R-96, R-100 and R-200 Single-Family and Two-Family Residential Districts.	Single-Family Septic	w/o Sewer	40,000	SF	100	100	200	30	60	60	10	30	30	20	5	http://ecode360.com/11301745
190-16	R-96	R-60, R-80, R-96, R-100 and R-200 Single-Family and Two-Family Residential Districts.	Single-Family Septic	w/o Sewer	40,000	SF	100	100	200	30	60	60	10	30	30	20	5	http://ecode360.com/11301745
190-17	R-1	R-1 and R-3 Single-Family Residential Districts.	Single-Family		1	acres	100	100	200	30	200	60	10	30	30	20	2	http://ecode360.com/11301787
190-17	R-3	R-1 and R-3 Single-Family Residential Districts.	Single-Family		3.2	acres	150	150	300	50	200	100	5	50	50	25	1	http://ecode360.com/11301787
190-17	R-3	R-1 and R-3 Single-Family Residential Districts.	Cluster	Resid. Cluster	1	acres	125	125	200	30	200	60	10	30	30	20	5	http://ecode360.com/11301787
190-18	R-1 Infill	R-1 Infill Single-Family Residential District.	Non-Age Restricted Detached Dwellings Not Using PDC's	w/o PDC's	2	acres	150	150	250	50	50	75	5%	25	25	25	2%	http://ecode360.com/11301826
190-18	R-1 Infill	R-1 Infill Single-Family Residential District.	Detached Dwellings (including patio and zero lot line types) Using PDC's	w/ PDC's	10,000	SF	100	100	100	101	25	25	20%	10	10	10	5%	http://ecode360.com/11301826
190-18.1	R-A Infill	R-A Infill Residential District	Non-Age Restricted Detached Dwellings Not Using PDC's		3	acres	150	150	300	50	75	100	5%	50	50	25	1%	http://ecode360.com/11301864#11301864

ZONING SCHEDULE

Section	zone	name	use	Notes	lot area	measurment	frontage	lot width	lot depth	PRINCIPAL STRUCTURE				ACCESSORY STRUCTURE				Zoning Code Link Primary Use
										side	front	rear	max cover prin	Access side	Access rear	from other bldg	max cover Acces	
190-18.1	R-A Infill	R-A Infill Residential District	Detached Dwellings (including patio and zero lot line types) Using PDC's		10,000	SF	100	100	100	102	25	25	20%	10	10	10	5%	http://ecode360.com/11301864#11301864
190-19	R-6	R-6 Single-Family Residential District.	Detached Dwellings		6	acres	200	200	300	75	200	100	5	100	100	50	1	http://ecode360.com/11301942
190-19	R-6	R-6 Single-Family Residential District.	Detached Dwellings Permitted Pursuant to § 190-198(2) (Priney exempt)		3.2	acres	150	150	300	50	200	100	5	50	50	25	1	http://ecode360.com/11301942
190-19	R-6	R-6 Single-Family Residential District.	Clustered Detached Dwellings		1	acres	125	125	200	30	200	60	10	30	30	20	5	http://ecode360.com/11301942
190-19	R-6	R-6 Single-Family Residential District.	Agricultural Product Sales Establishments Dwellings		1	acres	150	150	150	25	75	40	15	25	25	25	5	http://ecode360.com/11301942
190-20	R-17	R-17 Single-Family Residential District.	Detached Dwellings Without Functioning Public Water and Sewerage Facilities		17	acres	200	200	300	75	200	100	0.5	50	50	25	0.2	http://ecode360.com/11301983
190-20	R-17	R-17 Single-Family Residential District.	Clustered Detached Dwellings Upon Overall Gross Density of 17 Acres per Dwelling Unit.		1	acres	125	125	200	30	50	60	10	30	30	20	5	http://ecode360.com/11301983
190-22	PV	PV Pine Lands Village Residential District.	Detached Dwellings Without Public Sanitary Sewerage Facilities		3.2	acres	150	150	300	50	200	100	5	50	50	25	1	http://ecode360.com/11302056
190-22	PV	PV Pine Lands Village Residential District.	Detached Dwellings With Public Sewerage Facilities		1	acres	125	125	200	30	200	60	10	30	30	20	5	http://ecode360.com/11302056
190-21	MH	MH Mobile Home Residential District.	Mobile home uses		N/A		N/A	N/A	N/A	10' / 25'			N/A	5'	5'	5'	N/A	http://ecode360.com/11302030



LOCATION PLAN

NOT TO SCALE

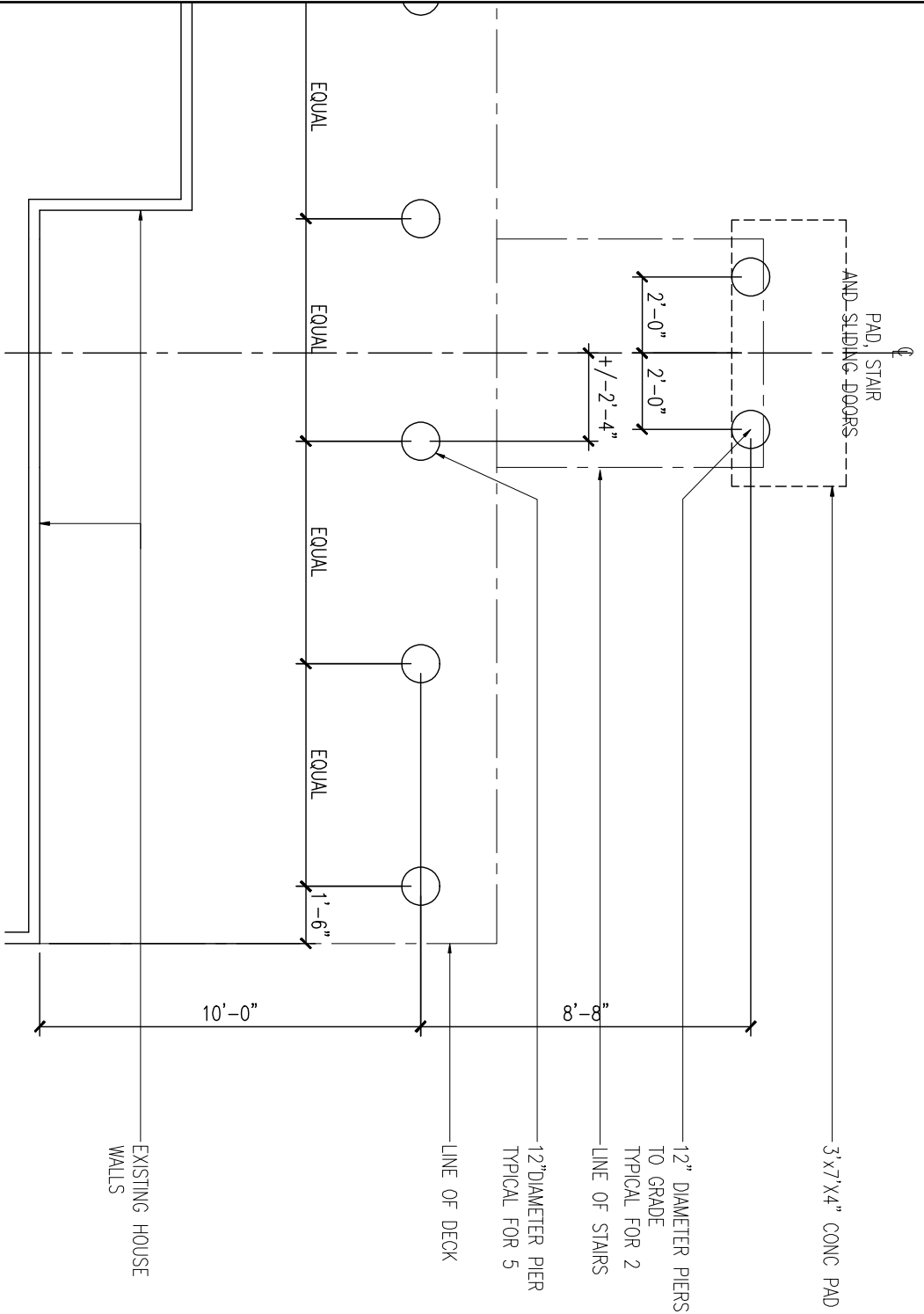
SEE ZA-1 FOR ITEMS THAT MUST BE SHOWN ON THE LOCATION PLAN.

PEMBERTON TOWNSHIP

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 500 PEMBERTON BROWNS MILLS ROAD
 PEMBERTON, NEW JERSEY 08068
 VOICE: 609-894-3330 FAX: 609-894-7976

DECK
 INFORMATION
 DRAWINGS

D-1



PIER/FOUNDATION PLAN

NOT TO SCALE

SHOW THE DIAMETER AND LOCATION OF YOUR FOOTINGS/PIERS WITH DIMENSIONS

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CONSTRUCTION OFFICE

500 PEMBERTON BROWNS MILLS ROAD

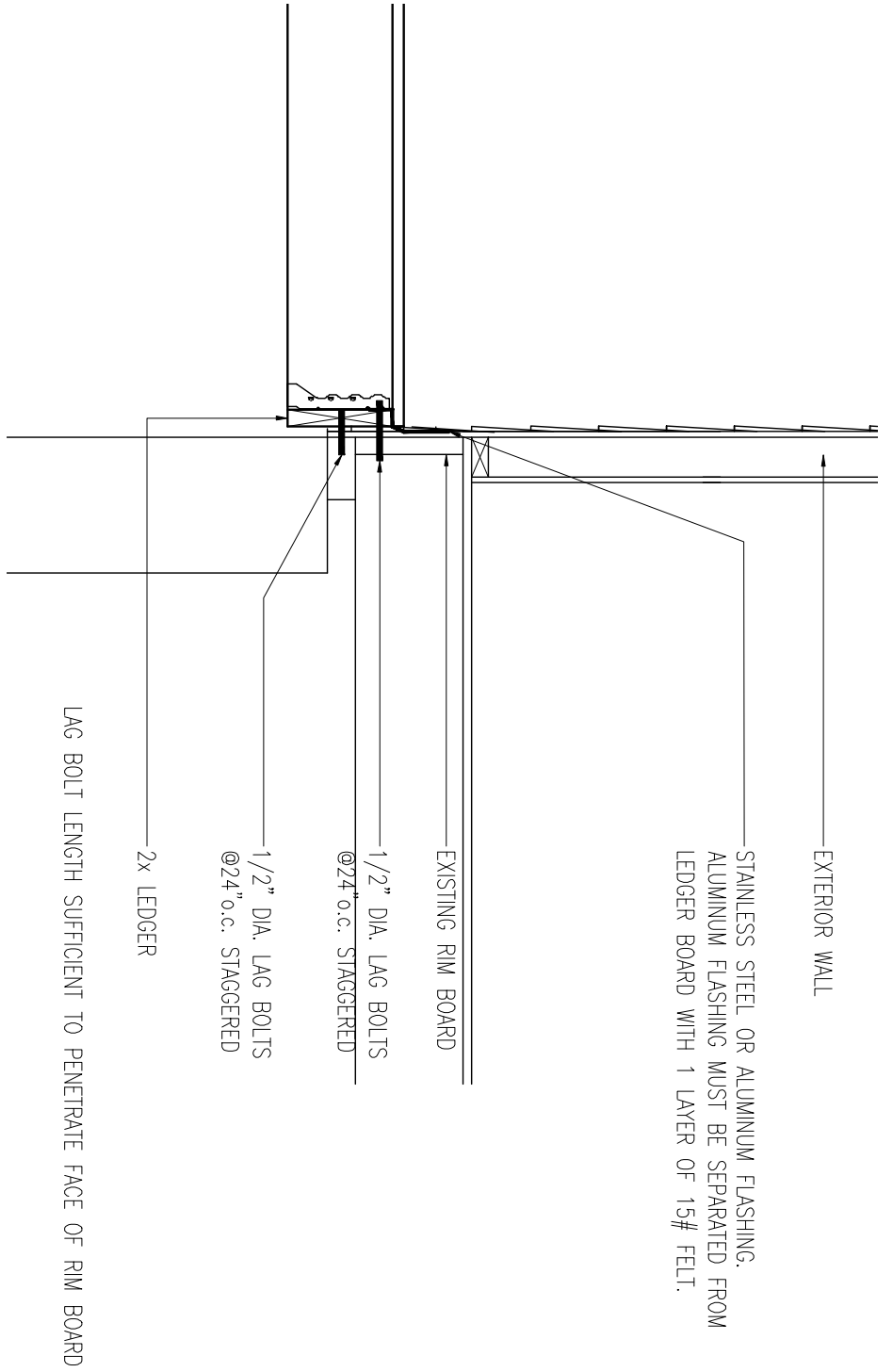
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DECK
INFORMATION
DRAWINGS

D-2



LEDGER

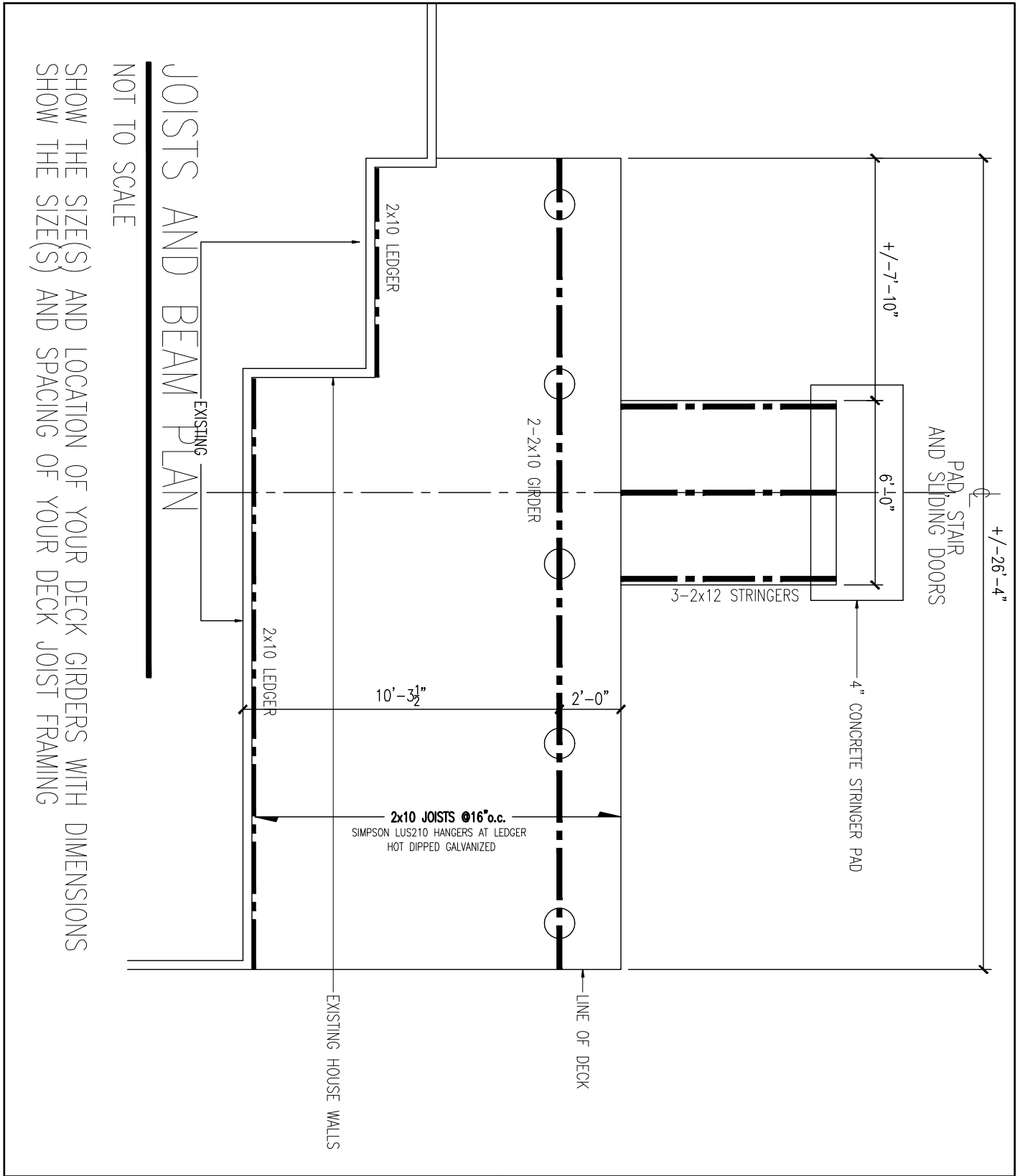
NOT TO SCALE

SHOW SIZE AND ATTACHMENT OF LEDGER

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DECK
 INFORMATION
 DRAWINGS

D-3

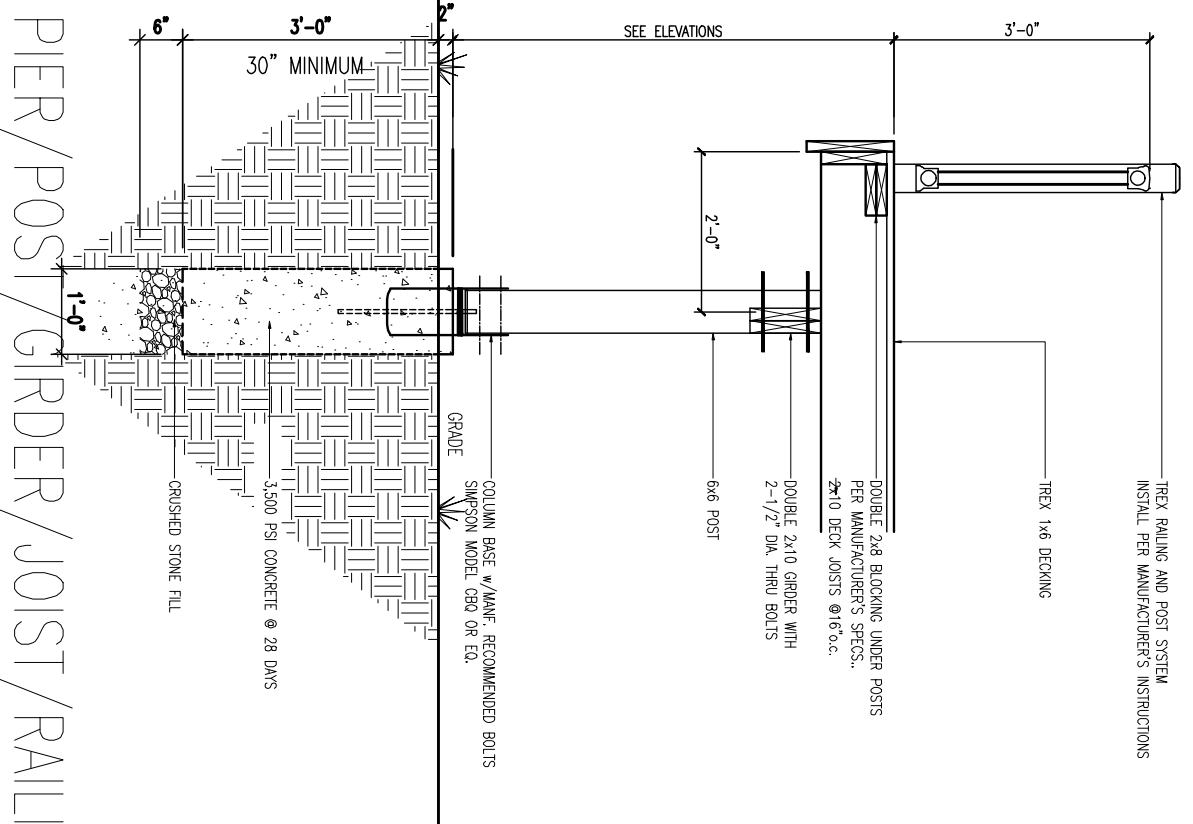


JOISTS AND BEAM PLAN
 NOT TO SCALE
 SHOW THE SIZE(S) AND LOCATION OF YOUR DECK GIRDERS WITH DIMENSIONS
 SHOW THE SIZE(S) AND SPACING OF YOUR DECK JOIST FRAMING

DECK
 INFORMATION
 DRAWINGS

D-4

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 CONSTRUCTION OFFICE
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 PEMBERTON, NEW JERSEY 08068
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NOT TO SCALE

PIER/POST/GIRDER/JOIST/RAILINGS

SHOW PIER DEPTH, POST SIZE AND ATTACHMENT TO PIER AND GIRDER
 SHOW GUARDRAIL HEIGHT, BALUSTER SPACING, AND ATTACHMENT TO DECK

GUARDRAILS:

GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD.

REQUIRED GUARDS AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES OR LANDINGS, SHALL BE NOT LESS THAN 36 INCHES HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE, ADJACENT FIXED SEATING OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS.

EXCEPTIONS:

1. GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 30 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS.
2. WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL NOT BE NOT LESS THAN 30 INCHES AND NOT MORE THAN 38 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS.

OPENING LIMITATIONS:

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.

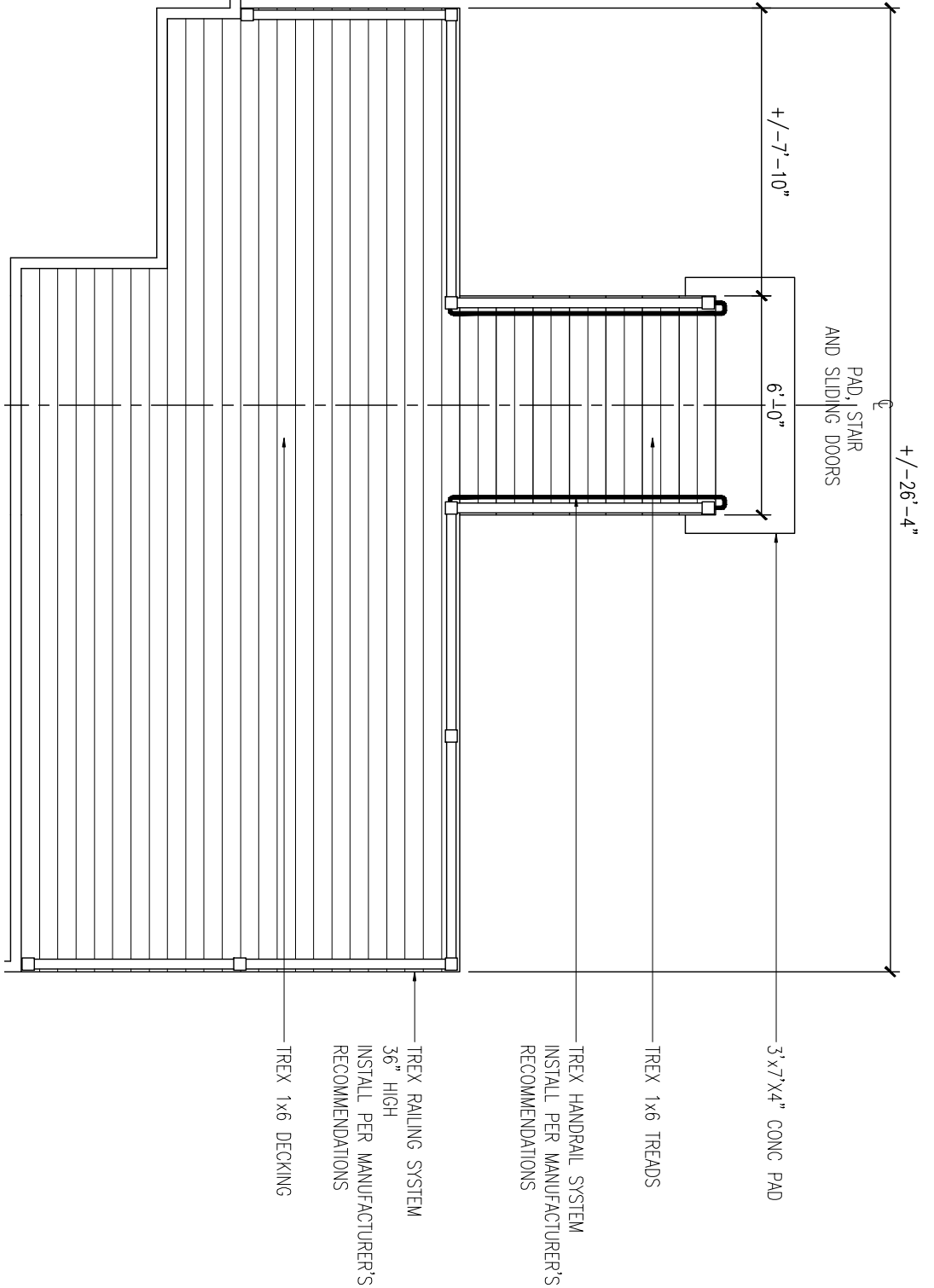
EXCEPTIONS:

1. THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF A STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES IN DIAMETER.
2. GUARDS ON THE OPEN SIDES OF STAIRS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 3/8 INCHES IN DIAMETER.

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DECK
 INFORMATION
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D-5



DECKING AND RAILING

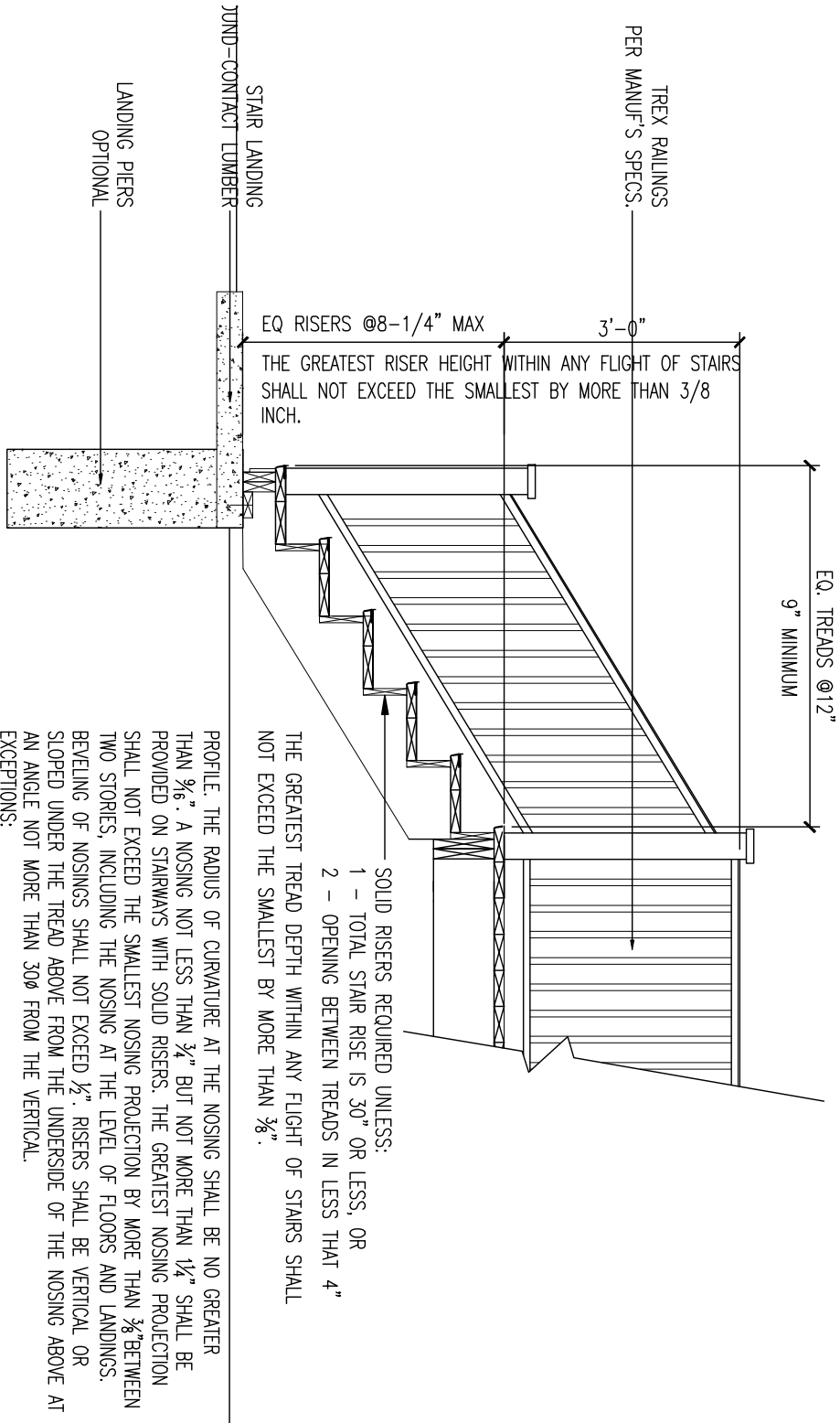
NOT TO SCALE

SHOW THE HEIGHT AND LOCATIONS OF YOUR GUARDRAIL AND HANDRAILS
 SHOW THE TYPE AND THICKNESS OF YOUR DECKING

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DECK
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D-6



STAIRS

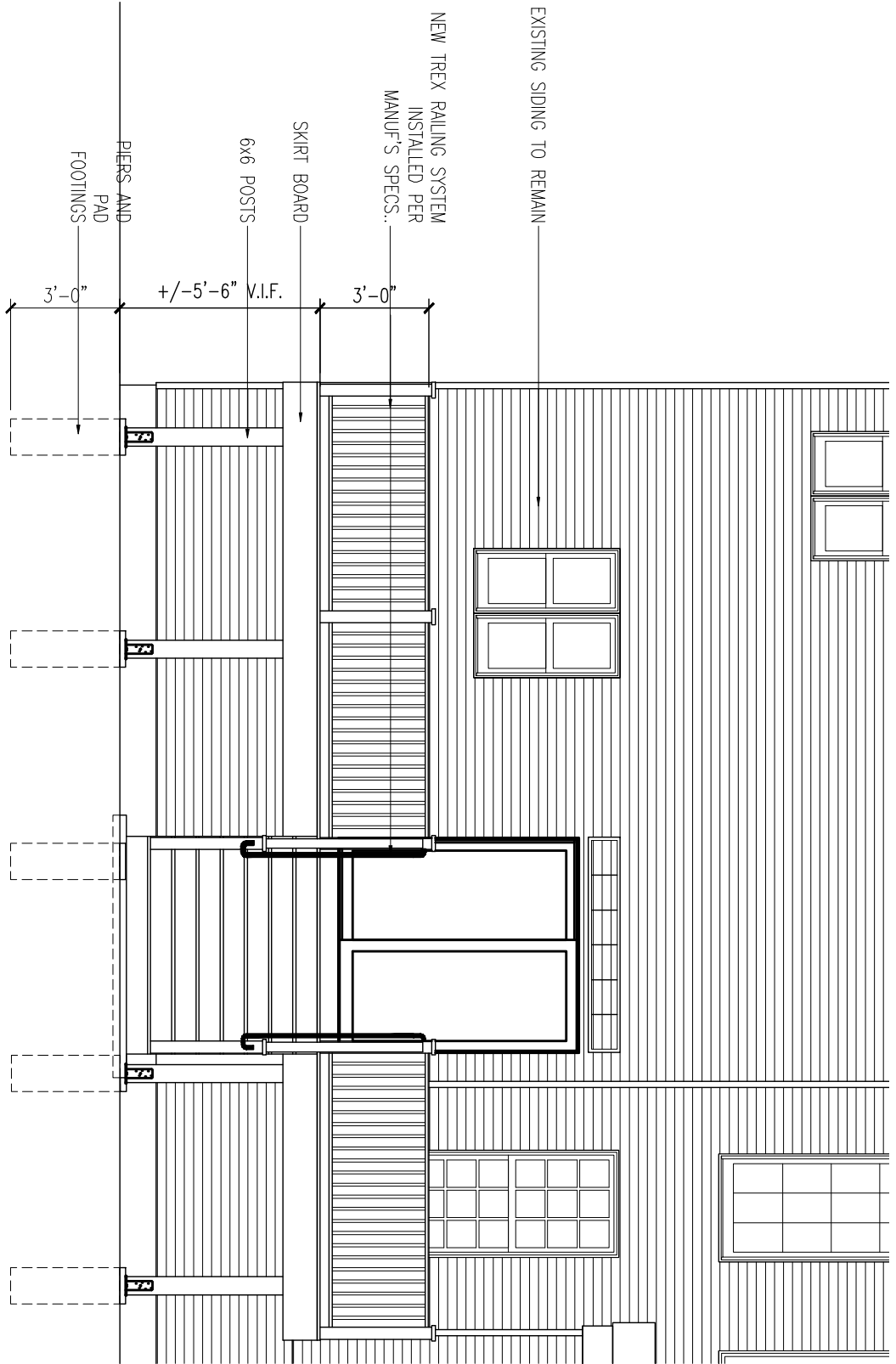
NOT TO SCALE

SHOW RISER HEIGHT AND TREAD DEPTH
 SHOW STRINGER SIZE AND ATTACHMENT. SHOW GUARDRAIL AND HANDRAIL HEIGHT AND DETAILS

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DECK
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D-7



ELEVATION

NOT TO SCALE

SHOW WHAT THE DECK WILL LOOK LIKE WITH DIMENSIONS

D-8

DECK
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HANDRAILS:

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. HEIGHT:

HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 30 INCHES AND NOT MORE THAN 38".

EXCEPTIONS:

1. THE USE OF A VOLUTE, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.
2. WHEN HANDRAIL FITTINGS OR BENDINGS ARE USED TO PROVIDE CONTINUOUS TRANSITION BETWEEN FLIGHTS, THE TRANSITION FROM HANDRAIL TO GUARDRAIL, OR USED AT THE START OF A FLIGHT, THE HANDRAIL HEIGHT AT THE FITTINGS OR BENDINGS SHALL BE PERMITTED TO EXCEED THE MAXIMUM HEIGHT.

CONTINUITY:

HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1/2" BETWEEN THE WALL AND THE HANDRAILS.

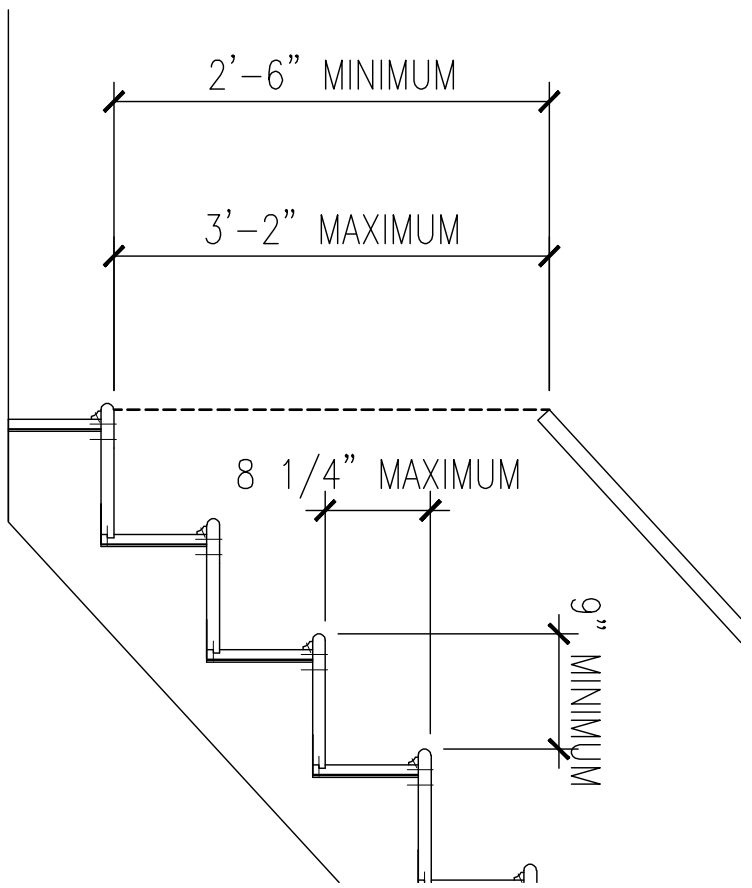
EXCEPTIONS:

1. HANDRAILS SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT THE TURN.
2. THE USE OF A VOLUTE, TURNOUT, STARTING EASING OR STARTING NEWEL SHALL BE ALLOWED OVER THE LOWEST TREAD.

GRP-SIZE:

ALL REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY.

1. TYPE I. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 1/2" WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01".
2. TYPE II. HANDRAILS WITH A PERMETER GREATER THAN 6 1/2" INCHES SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4" MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 3/8" INCH WITHIN 7/8" INCH BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8" TO A LEVEL THAT IS NOT LESS THAN 1 3/4" BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 3/4" TO A MAXIMUM OF 2 3/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01".



STEPS
NOT TO SCALE
CONFORM TO THE ABOVE PARAMETERS FOR STAIRS AND HANDRAILS

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DECK
 INFORMATION
 DRAWINGS

D-9